

DATE OF MEETING | August 30, 2021 |

AUTHORED BY | CALEB HORN, PLANNER, CURRENT PLANNING |

**SUBJECT | DEVELOPMENT PERMIT APPLICATION NO. DP1185  
– 388 MACHLEARY STREET |**

## **OVERVIEW**

### **Purpose of Report**

To present for Council’s consideration, a development permit application for a seniors’ congregate housing development at 388 Machleary Street. |

### **Recommendation**

That Council issue Development Permit No. DP1185 at 388 Machleary Street. |

## **BACKGROUND**

A development permit application, DP1185, was received from IBI Group Architects (Canada) Inc., on behalf of Ocean View Investments (Nominee) Inc., to permit a seniors’ congregate housing development at 388 Machleary Street.

### **Subject Property and Site Context**

<i>Zoning</i>	CS1 – Community Service One
<i>Location</i>	The subject property is flanked by Kennedy Street to the east, Franklyn Street to the south, and Machleary Street to the west.
<i>Total Area</i>	1.16ha
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Neighbourhood Map 3 – Development Permit Area DPA No. 9 – Commercial, Industrial, Institutional, Multiple Family, and Mixed Commercial / Residential Development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines

The subject property is a prominent site, located near the height of land in the Old City Neighbourhood. The site formerly contained the Nanaimo Hospital that was later repurposed as the Malaspina College and then the Malaspina Gardens seniors’ care facility. The remaining buildings on-site were demolished in 2017. The site is currently vacant and slopes approximately 10m downhill from Machleary Street to Kennedy Street.

The surrounding neighbourhood is primarily single residential dwellings, many of which are older homes from the early twentieth century. The site is approximately 450m away from the Old City Quarter where there are retail and office services, and approximately 700m away from the downtown commercial centre.

Adjacent properties are zoned R13, which allows for duplexes. Pawson Park is located south of the subject property at the corner of Franklyn Street and Machleary Street. An existing lane abuts the northwest edge of the site, connecting with Machleary Street before turning north towards Fitzwilliam Street.

## **DISCUSSION**

### **Proposed Development**

The applicant is proposing to construct a 133-unit seniors' congregate housing development with common amenity areas, including a large dining hall, a fitness centre, and health and wellness services. The proposed development will consist of three building massings, with a wing along the Franklyn Street frontage, a wing between Machleary Street and Kennedy Street on the north side of the property, and a central amenity pavilion surrounded by gardens between the two wings. Parking will be provided underground.

Seniors' congregate housing is a permitted use in the CS1 zone, and the proposed development is designed to meet the needs of seniors, with one or more meals provided per day and housekeeping services offered. The common dining area has a capacity sufficient to accommodate all residents of the facility.

The total floor area of 13,503m<sup>2</sup> equals a Floor Area Ratio (FAR) of 1.17, below the maximum permitted FAR of 1.25 for seniors' congregate housing in the CS1 zone.

### *Site Design*

The proposed facility will have its main entrance facing Machleary Street and will present a pedestrian-friendly entry to the street. Other pedestrian entrances will connect to Kennedy Street, to Franklyn Street, and to a proposed public walkway along the north side of the property between Machleary Street and Kennedy Street along the existing laneway. The public walkway will consist of a 1.8m-wide concrete surface with stairs to address the change of grade, and will be secured by a statutory right-of-way as a condition of the development permit.

Two levels of underground parking will be accessed via separate entries from the lane. The laneway connecting to Machleary Street will be widened to accommodate vehicle access to both entries. The proposed development will have more parking than required by the City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266". The minimum required parking for seniors' congregate housing is 0.3 parking spaces per unit, which would require 40 parking spaces for this development, but the applicant is proposing to provide 111 parking spaces (at rate of 0.83 spaces per unit). The applicant is also proposing long-term bicycle storage in the lower parking level. Loading spaces will be provided outside of the upper parking level entry and waste receptacle rooms will be inside the parking area.

### *Building Design*

Nanaimo's Old City Multiple Family Residential Design Guidelines (the "Old City Design Guidelines") contains a number of guidelines for multi-family residential projects in the Old City Neighbourhood, which also help inform the proposed institutional development in order to respond to the residential nature of the neighbourhood.

The proposed building is sited to maximize views towards the ocean. The building will have a flat roof with uniform elevation, but will present itself differently on all elevations. From the Machleary Street frontage, the residential wings will present three-storey elevations and the central pavilion will present a one-storey elevation. From the Kennedy Street frontage, the residential wings will present five-storey elevations (a three-storey building face with the upper two floors set back approximately 7m) and the central pavilion will be three storeys. The building massing has been designed to step down to the surrounding context and to follow the topography of the site. Extensive articulation includes projections and recesses to further reduce the perceived building mass.

The units will have a mix of outdoor balconies, Juliet balconies, or patio space. The two wings, particularly facing Franklyn Street and Kennedy Street, will appear residential in nature with generous glazing and large balconies. Materials for these wings will be light in colour with a mix of natural wood siding and fibre cement panels to create a contemporary yet residential aesthetic.

The central amenity pavilion will feature large two-storey windows and striking finishing elements, including timber and stone. A wrap-around balcony is proposed outside the third storey of the central pavilion, which will also act as the lobby level from the main entrance at Machleary Street.

The proposed development complies with General Development Permit Area Design Guidelines.

### *Landscape Design*

Extensive landscaping is proposed throughout the site. A robust landscape buffer is provided along street frontages. A large landscaped garden is provided in the centre of the site, in proximity to the central pavilion. Concrete pathways are provided throughout the garden, with a number of stone paver patio areas with seating. An outdoor dining terrace is proposed outside the central pavilion, in addition to activity spaces, including a bocce court and putting green. A terraced retaining wall and fence are proposed between the development and the sidewalk on Kennedy Street.

A rooftop deck is proposed on the central pavilion that will include perennials, grasses, ferns, flowering trees, and raised planting beds for residents. Seating, including movable lounge furniture, will be provided.

### **Design Advisory Panel**

The Design Advisory Panel (DAP), at its meeting held on 2020-MAY-28, accepted DP1185 as presented and provided the following recommendations:

- Look at ways to provide a stronger mix and rhythm of materials to better define the residential wings of the building;
- Consider re-evaluating the proposed planting plan and trees to be more reflective of Vancouver Island;
- Consider incorporating elements to the site to reflect the history of the site;
- Look at ways to incorporate the existing old stairs and/or columns into the project;
- Work with Staff to establish a pick up/drop off area along Machleary Street; and
- Provide details of garbage enclosure and materials used for rooftop screening.

The applicant subsequently revised the plans to address the DAP recommendations, as well as to provide additional opportunities for physical distancing in light of the COVID-19 pandemic. Some of the changes from the time of the DAP meeting include:

- Eliminating a previously proposed wing of the building that extended north towards the lane;
- Reducing the number of the units from 149 to 133;
- Providing an additional underground parking level for residents;
- Expanding the outdoor dining terrace;
- Revising the building exterior by accentuating the façade details, increasing balcony sizes, increasing window sizes, and further articulating the building’s corners;
- Revising the planting plan to include more drought-resistant trees;
- Including interpretive heritage signage and a cast of the original Nanaimo Hospital cornerstone along the public walkway; and
- Relocating the garbage enclosure to the parking level; and
- Screening the rooftop equipment with ornamental planters.

Additionally, the applicant redesigned the vehicle entry points from the lane to provide a safer route for drivers and pedestrians. The applicant also explored the opportunity to retain the existing staircase on the Kennedy Street frontage, but determined this was not a viable option. Instead, the new public walkway with its staircase connection from Kennedy Street will be designed to reflect the character of the previous staircase.

No variances are proposed as part of the development.

### **SUMMARY POINTS**

- Development Permit Application No. DP1185 is for a seniors’ congregate housing development with 133 units and underground parking.
- A public walkway is proposed along the north side of the property between Machleary Street and Kennedy Street.
- The proposed development complies with the applicable design guidelines.
- No variances are proposed as part of the development.

## **ATTACHMENTS**

ATTACHMENT A: Permit Conditions  
ATTACHMENT B: Context Map  
ATTACHMENT C: Location Plan  
ATTACHMENT D: Site and Parking Plans  
ATTACHMENT E: Building Elevations and Details  
ATTACHMENT F: Landscape Plan and Details  
ATTACHMENT G: Aerial Photo

### **Submitted by:**

Lainya Rowett  
Manager, Current Planning

### **Concurrence by:**

Jeremy Holm  
Director, Development Approvals

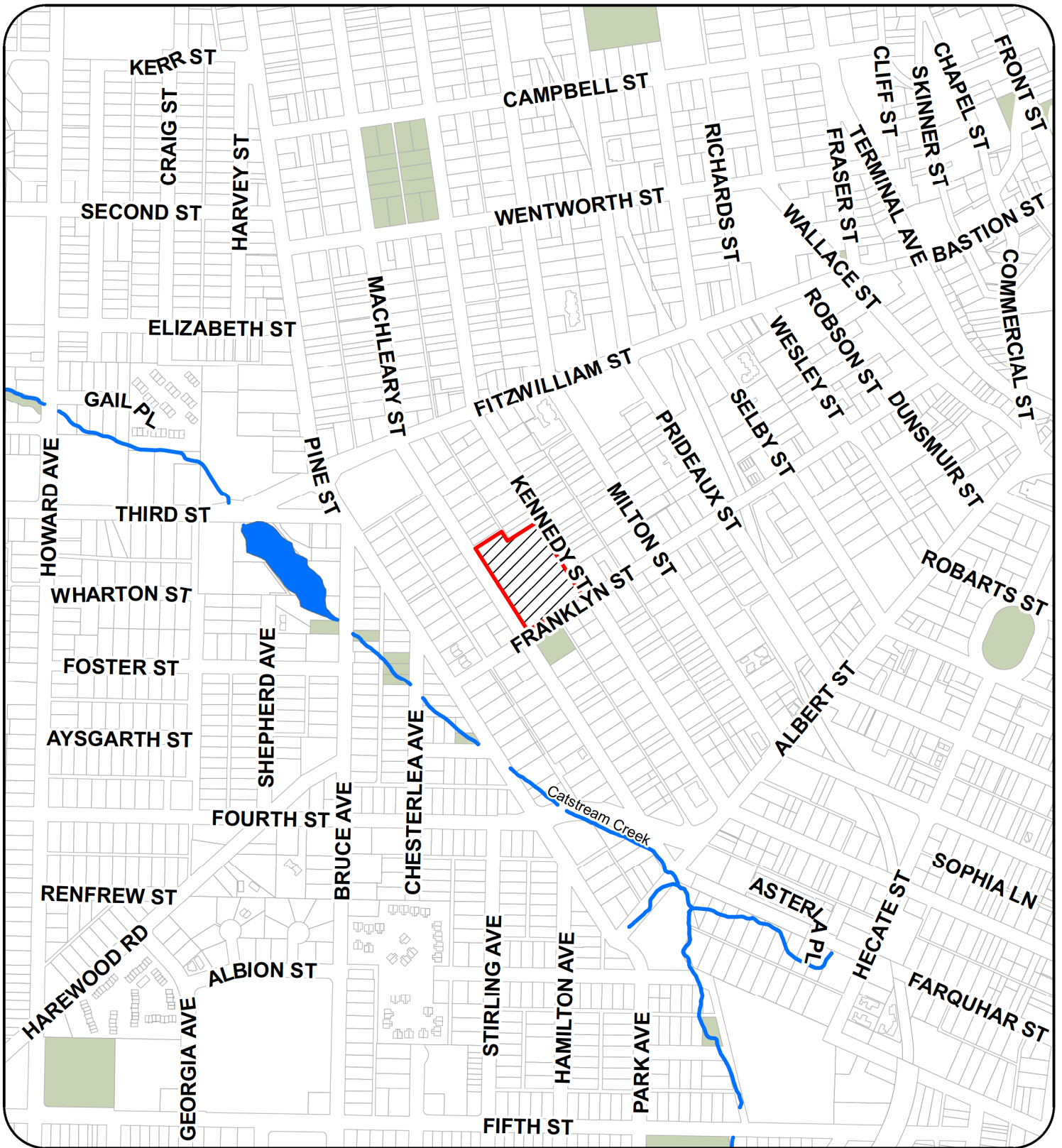
Dale Lindsay  
General Manager, Development Services

# **ATTACHMENT A PERMIT CONDITIONS**

## **CONDITIONS OF PERMIT**

1. The subject property is developed in accordance with the Site and Parking Plans prepared by IBI Group Architects (Canada) Inc., dated 2021-MAR-08 and 2020-NOV-23 respectively, as shown on Attachment D.
2. The subject property is developed in substantial compliance with the Building Elevations and Details prepared by IBI Group Architects (Canada) Inc., received 2020-NOV-23 and 2020-MAY-21, as shown on Attachment E.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by IBI Group Architects (Canada) Inc., dated 2020-NOV-23, as shown on Attachment G.
4. A blanket right-of-way is registered on the subject property prior to building permit issuance to secure a public walkway between Machleary Street and Kennedy Street, generally as shown on Attachment D, to be reduced to a specific right-of-way prior to building occupancy.

# ATTACHMENT B CONTEXT MAP

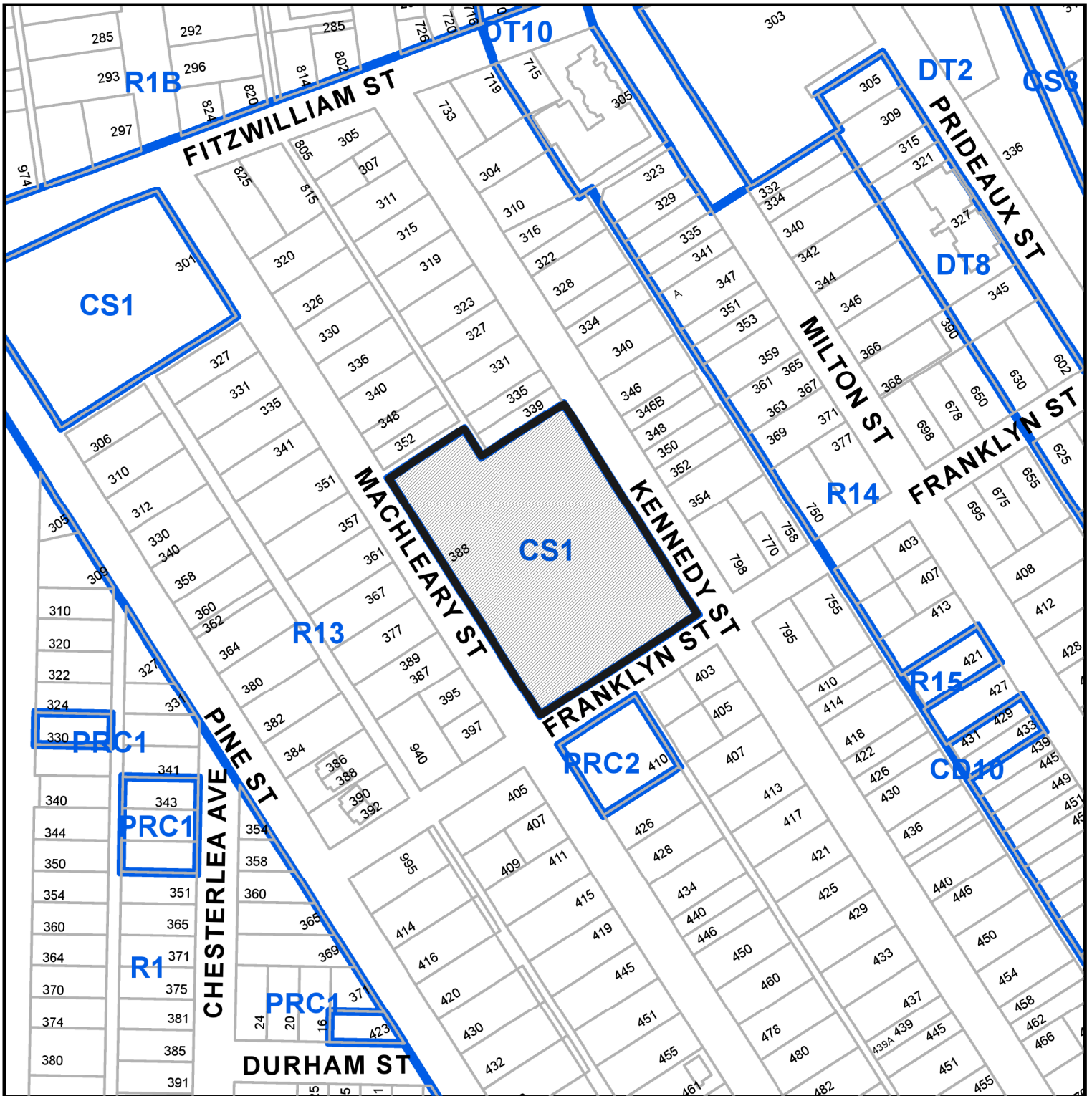


DEVELOPMENT PERMIT APPLICATION NO. DP001185



388 MACHLEARY STREET

# ATTACHMENT C LOCATION PLAN



## DEVELOPMENT PERMIT NO. DP001185

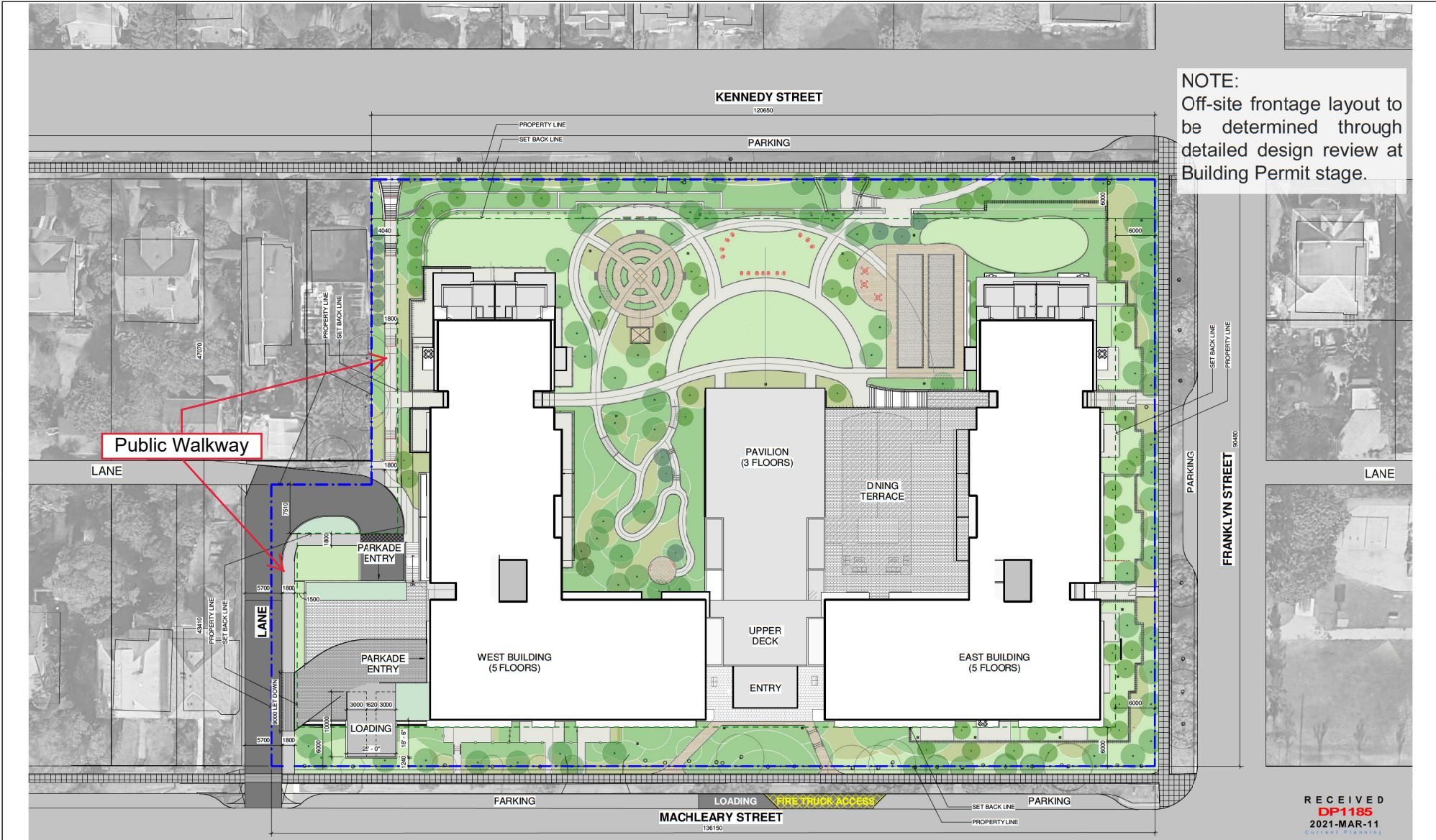
CIVIC: 388 MACHLEARY STREET

LEGAL: LOT A, SECTION 1, NANAIMO DISTRICT, PLAN VIP53876

 **Subject Property**



# ATTACHMENT D SITE AND PARKING PLANS

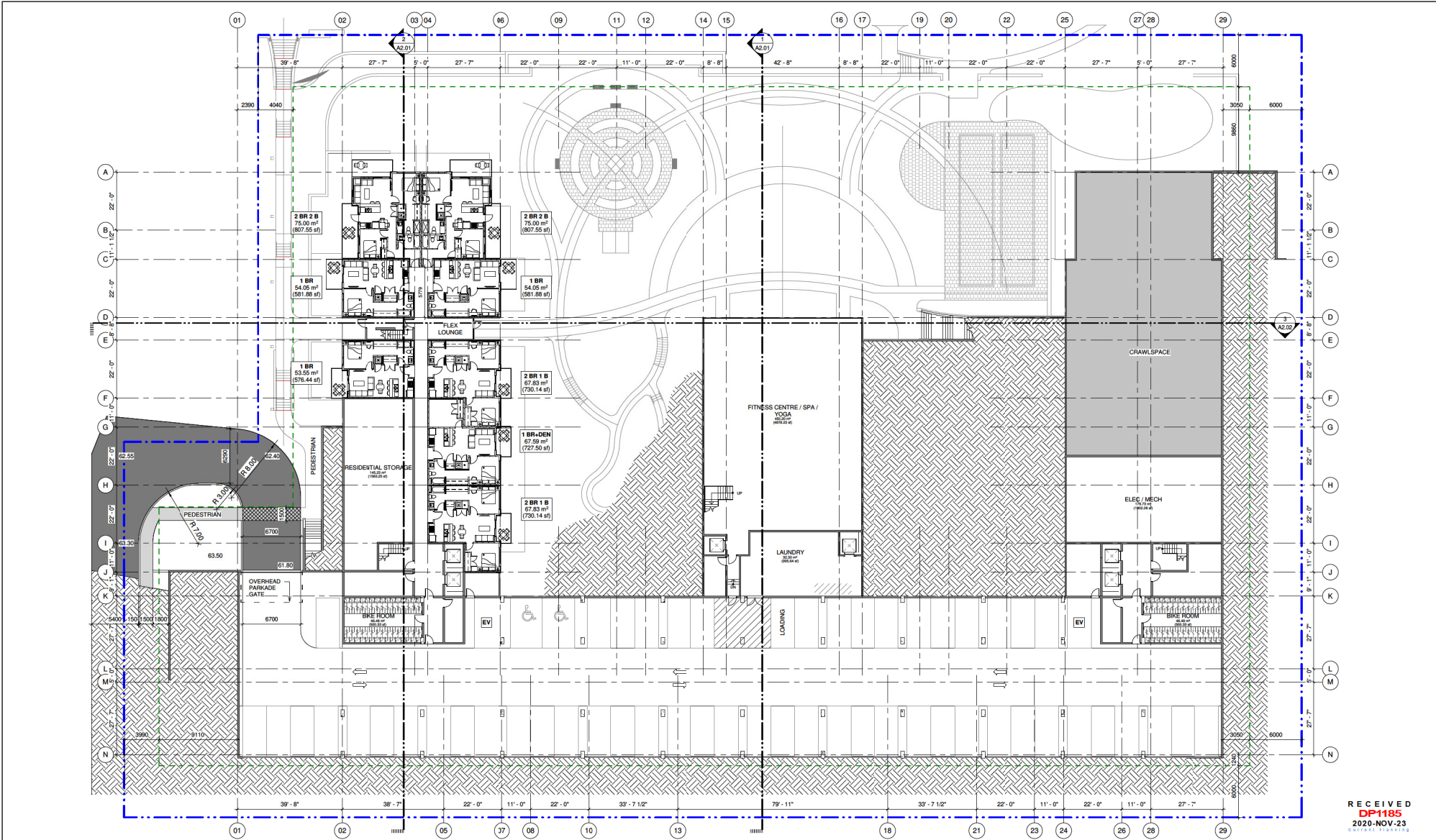


**NOTE:**  
Off-site frontage layout to be determined through detailed design review at Building Permit stage.

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2021-MAR-11

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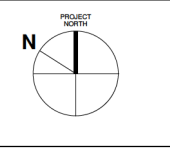
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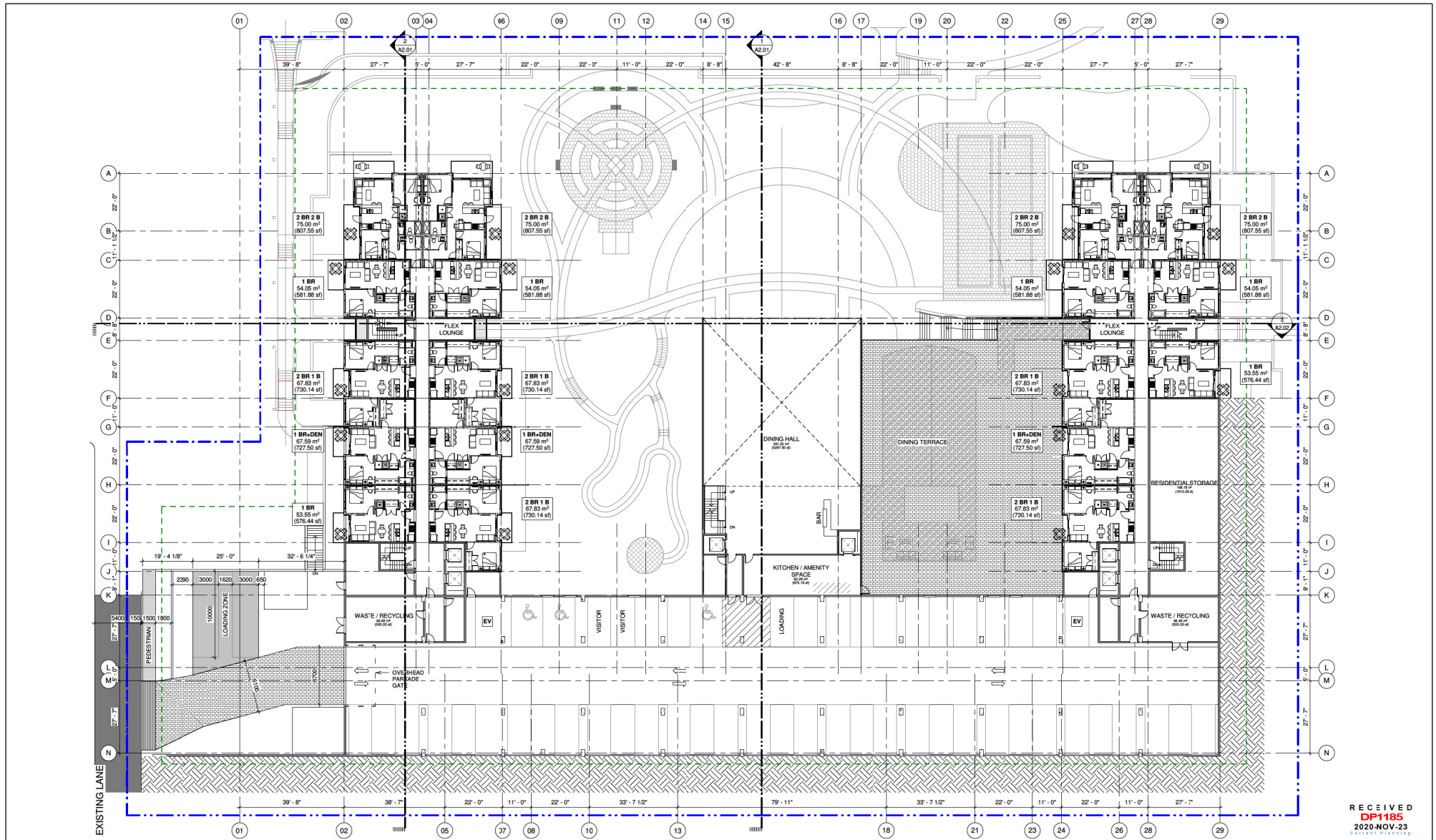
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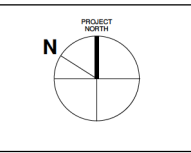
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PROJECT NO: 323366  
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 DATE: 11/23/2020

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# ATTACHMENT E BUILDING ELEVATIONS AND DETAILS



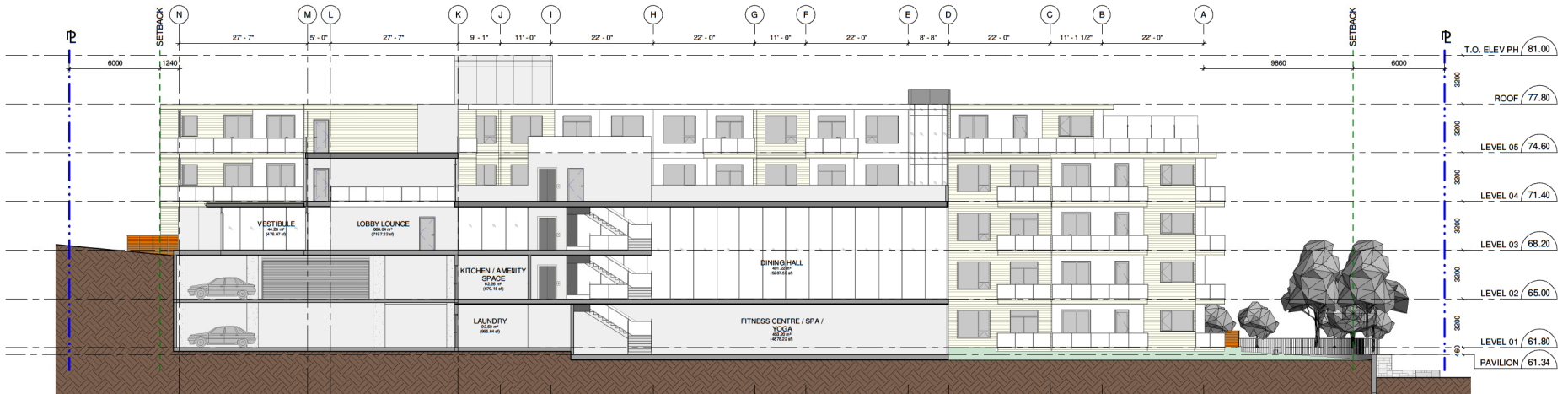
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**Facing the Lane**



2 EAST ELEVATION  
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**Facing Franklyn Street**

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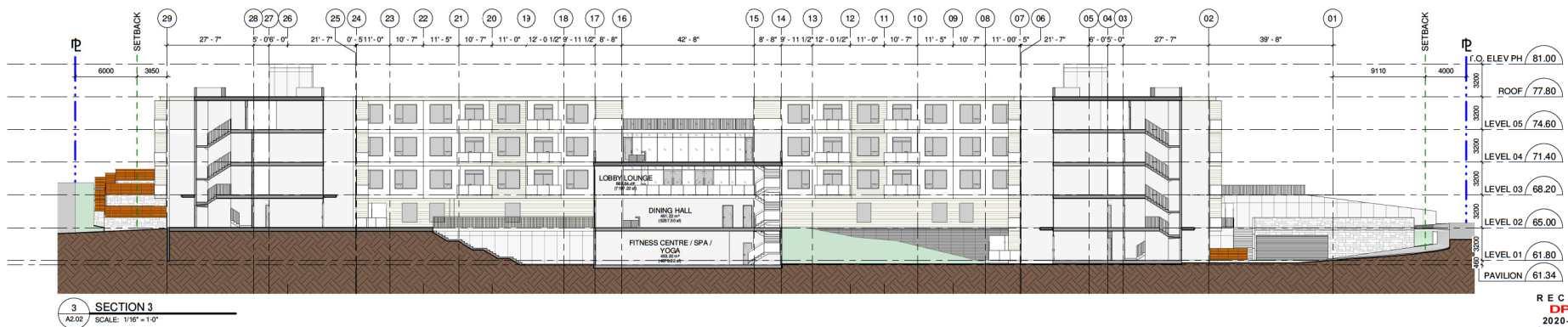
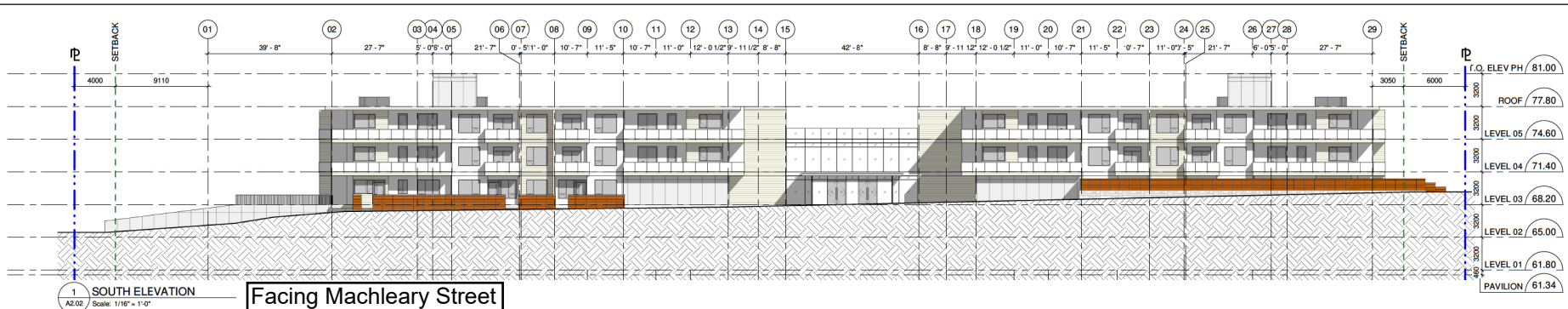


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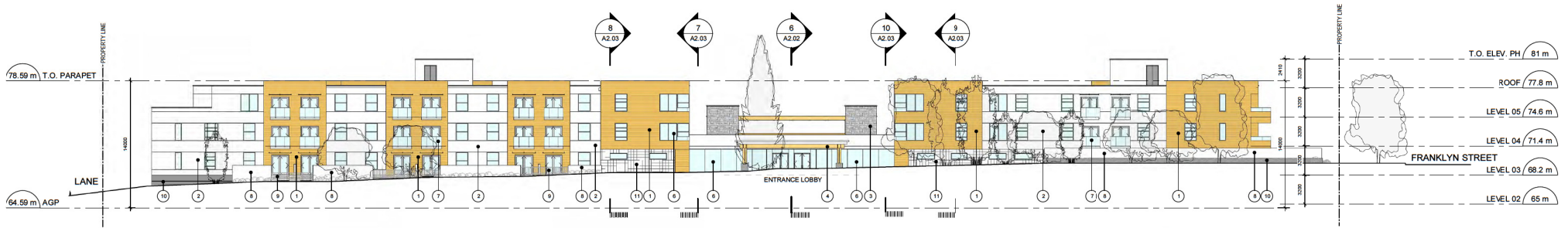
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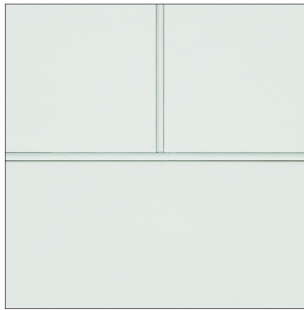
**EXTERIOR MATERIAL LEGEND**

- (1) WOOD SIDING PATTERN PANELS - PREFINISHED
- (2) FIBRE CEMENT PANELS - PREFINISHED
- (3) BASALT STONE - ROUGH TEXTURE
- (4) WOOD TIMBER STRUCTURE - STAINED
- (5) ARCHITECTURAL CONCRETE
- (6) WINDOW W/ CLEAR GLAZING
- (7) GLASS AND METAL RAILING
- (8) WOOD FENCE
- (9) METAL RAILING - PREFINISHED
- (10) CONCRETE WALL
- (11) GREEN WALL

WOOD GRAIN PLANKS



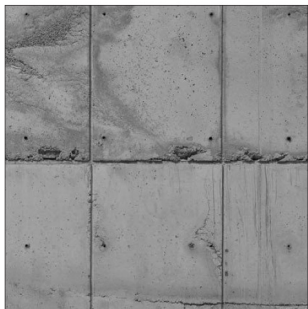
FIBRE CEMENT PANEL



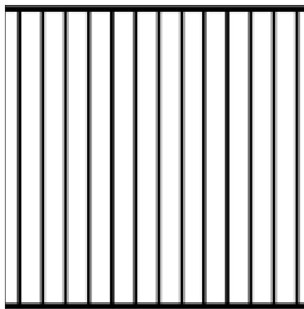
BASALT STONE



ARCHITECTURAL CONCRETE



METAL FENCING

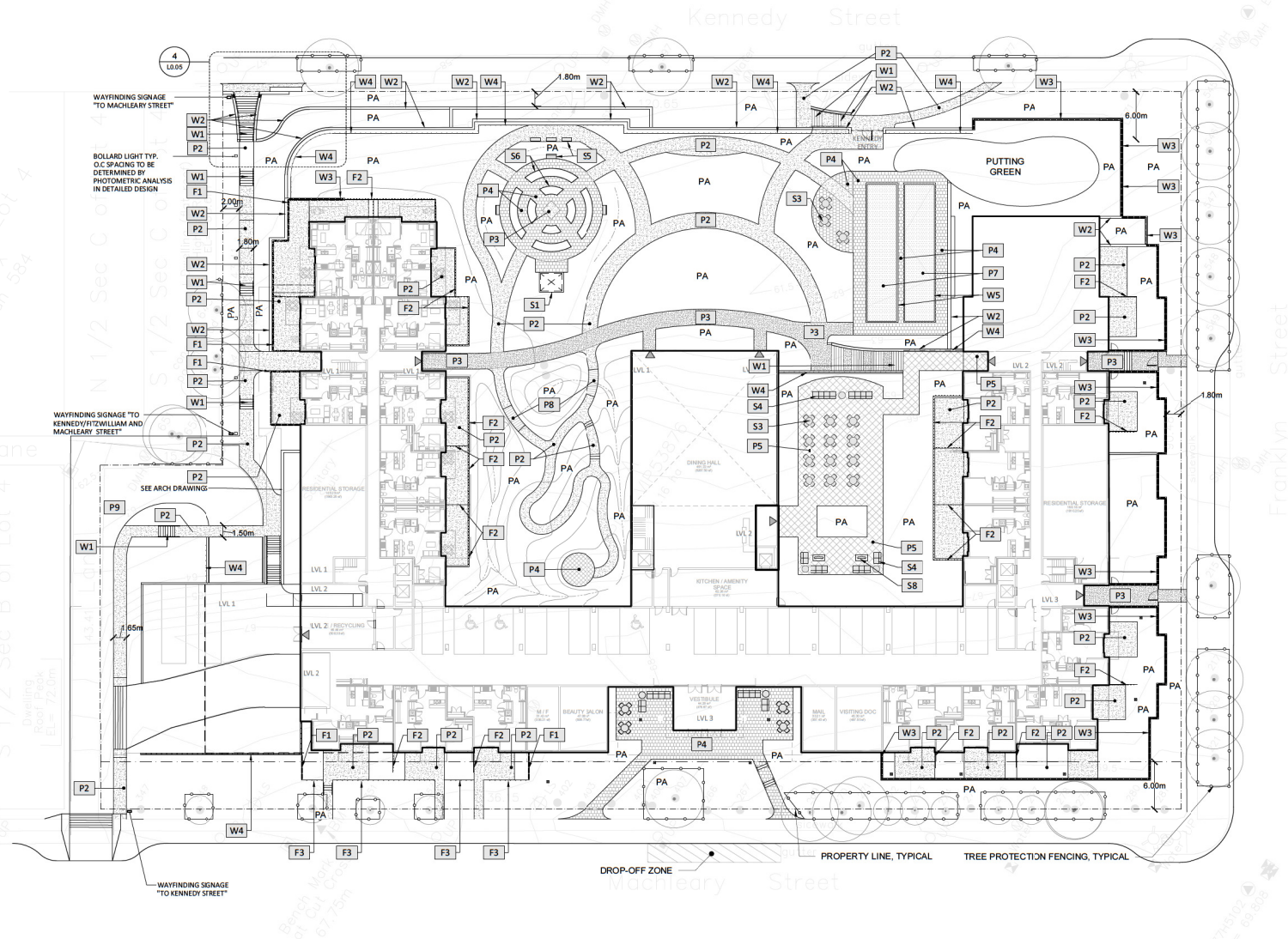


GREEN WALL



# ATTACHMENT F LANDSCAPE PLAN AND DETAILS

NOTE: SEE SHEET L.04 FOR ROOF DECK MATERIALS PLAN



### MATERIALS LEGEND

**GENERAL**

- PROPERTY LINE
- 6m SETBACK
- BUILDING OVERHANG
- TREE PROTECTION FENCING
- PA PLANTING AREA

**PAVING**

- P1 CONCRETE PAVEMENT - VEHICULAR - BROOM FINISH
- P2 CONCRETE PAVEMENT - PEDESTRIAN - BROOM FINISH
- P3 CONCRETE PAVEMENT - PEDESTRIAN - EXPOSED AGGREGATE FINISH
- P4 STONE PAVERS - AT GRADE - LINEAR PATTERN
- P5 (NOT USED)
- P6 STONE PEDESTAL PAVERS - ROOF DECK
- P7 STONE DUST AT BOCCO COURT
- P8 WOOD FOOTBRIDGE
- P9 ASPHALT ROADWAY PAVING - VEHICULAR (SEE CIVIL DRAWINGS)

**WALLS, STAIRS, CURBS, & FENCES**

- W1 STONE STAIR TREAD WITH PAINTED GALVANIZED STEEL HANDRAIL
- W2 STONE VENEER WALL
- W3 STONE VENEER WALL WITH 1.1M HIGH CEDAR BOARD FENCE
- W4 1.2m ht. PAINTED GALV. STEEL PICKET GUARDRAIL
- W5 WOOD BOCCO CURB
- F1 1.1m ht. CEDAR BOARD FENCE WITH TOP AND BOTTOM RAIL
- F2 1.1m ht. CEDAR BOARD FENCE WITH TOP AND BOTTOM RAIL WITH 0.8M LATTICE TOPPER
- F3 1m HT. PAINTED GALVANIZED STEEL PICKET FENCE

**OTHER SITE ELEMENTS**

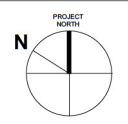
- S1 GARDEN SHED
- S2 SHADE STRUCTURE TYPE 2 - ROOF DECK
- S3 TABLES & CHAIRS
- S4 MOVEABLE LOUNGE FURNITURE
- S5 BENCH
- S6 CEDAR RAISED PLANTERS
- S7 DECORATIVE PLANTER
- S8 FIRE PIT
- S9 CATERNY LIGHTING OVER FLEXIBLE GATHERING SPACE

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**IBI GROUP ARCHITECTS (CANADA) INC.**

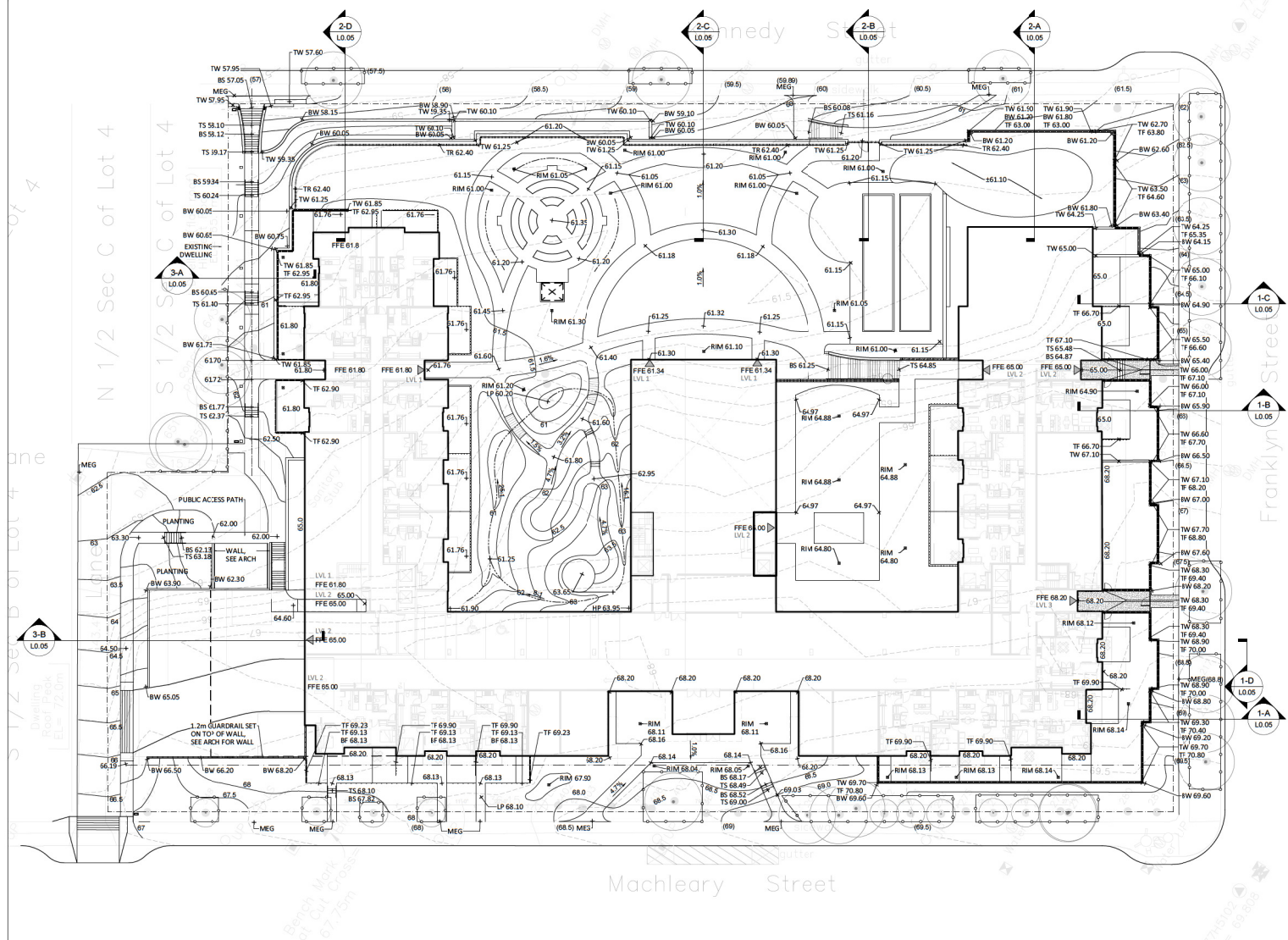
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2	11-23-2020		DP1185 REVISION				
1	03-06-2020		ISSUED FOR DP				



<b>SUB-CONSULTANT</b>	<b>SEA</b>	<b>DESIGN ARCHITECT</b>	<b>CLIENT</b>	<b>PROJECT TITLE</b>	<b>PRIME CONSULTANT</b>	<b>SHEET TITLE</b>
				<b>Nanaimo Ocean View Senior Living</b> 388 MACHEARY STREET NANAIMO, BC	<b>IBI GROUP ARCHITECTS (CANADA) INC.</b> 700 - 1285 West Pender Street Vancouver BC V6E 4B1 Canada tel 604 683 8797 fax 604 683 0482 ibigroup.com	<b>MATERIALS SITE PLAN</b>
					PROJECT NO: 123595	SHEET NUMBER
					DRAWN BY: JB, RL, TS	<b>L0.01</b>
					CHECK BY: CO	REV
					SCALE: 1: 250	
					DATE: 2020-11-23	



NOTE: SEE SHEET L.04 FOR ROOF DECK GRADING PLAN



**GRADING LEGEND**

**GENERAL**

- PROPERTY LINE / LIMIT OF WORK
- - - - - BUILDING OVERHANG
- TREE PROTECTION FENCING
- EXISTING TREE TO REMAIN
- ✕ EXISTING TREE TO BE REMOVED (20)

**GRADING**

- (61.00) → EXISTING GRADE
- 61.00 → PROPOSED GRADE
- 1.8% → PROPOSED SLOPE
- (61.5) EXISTING CONTOUR
- 61.5 EXPOSED CONTOUR
- SWALE CENTERLINE
- MEG MEET EXISTING GRADE
- FFE FINISH FLOOR ELEVATION
- HP HIGH POINT
- LP LOW POINT
- TC / BC TOP OF CURB / BOTTOM OF CURB
- TW / BW TOP OF WALL / BOTTOM OF WALL
- TS / BS TOP OF STAIRS / BOTTOM OF STAIRS
- TF / TR TOP OF FENCE / TOP OF RAIL

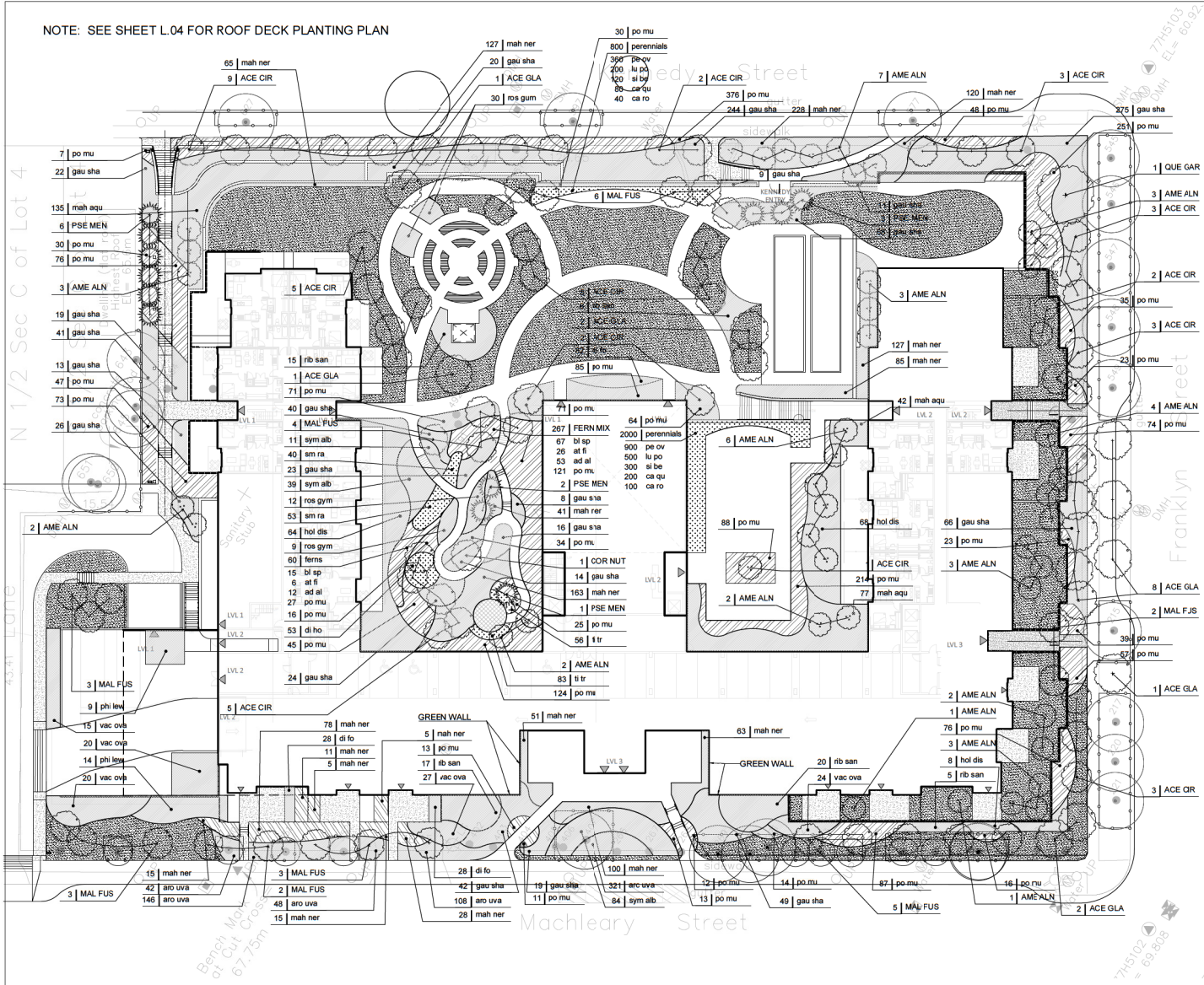
NOTE: SEE CIVIL DRAWINGS FOR DRAINAGE STRUCTURES

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 2020-NOV-23

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NO.	DATE	APPR.	DESCRIPTION	NO.	DATE	ISSUED	DESCRIPTION																							
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1	03-06-2020		ISSUED FOR DP																											

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NOTE: SEE SHEET L.04 FOR ROOF DECK PLANTING PLAN



PLANTING LEGEND

- GENERAL
- PROPERTY LINE / LIMIT OF WORK
  - BUILDING OVERHANG
  - TREE PROTECTION FENCING
- PLANTING
- EXISTING TREE TO REMAIN
  - EXISTING TREE TO BE REMOVED
  - DECIDUOUS TREE
  - MULTI-STEM FLOWERING TREE
  - EVERGREEN TREE
  - SHRUBS
  - PERENNIALS AND GRASSES
  - FERNS
  - LAWN
  - RAISED PLANTING BEDS FOR TENANT INSTALLED PLANTING
  - GREEN WALL (DESIGNED FOR SOLAR ORIENTATION AND MICROCLIMATE)

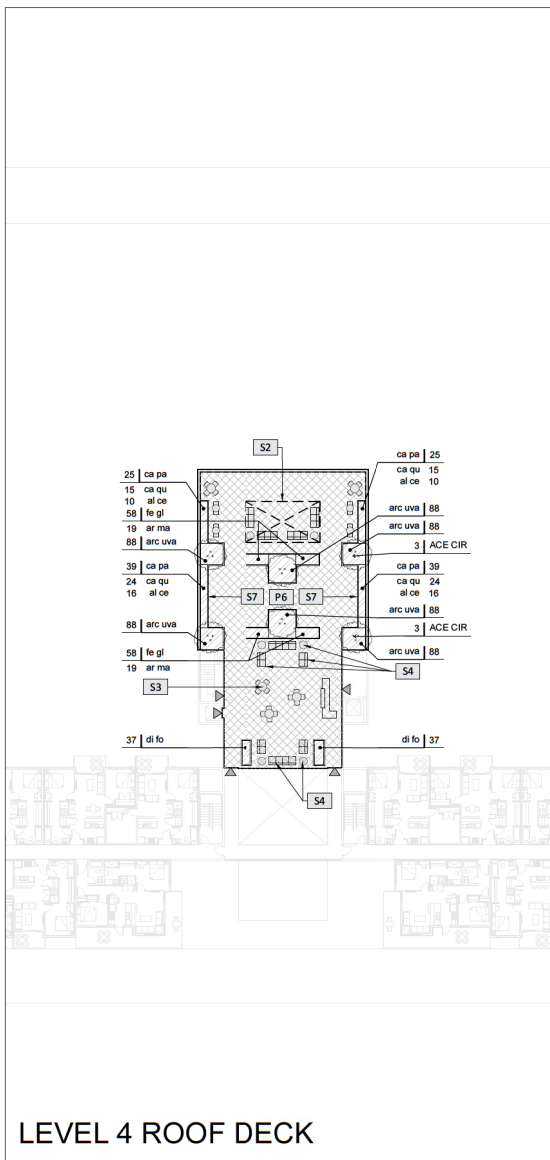
NOTE: ALL PLANTING SHALL BE IRRIGATED WITH AUTOMATED SYSTEM

PLANT SCHEDULE

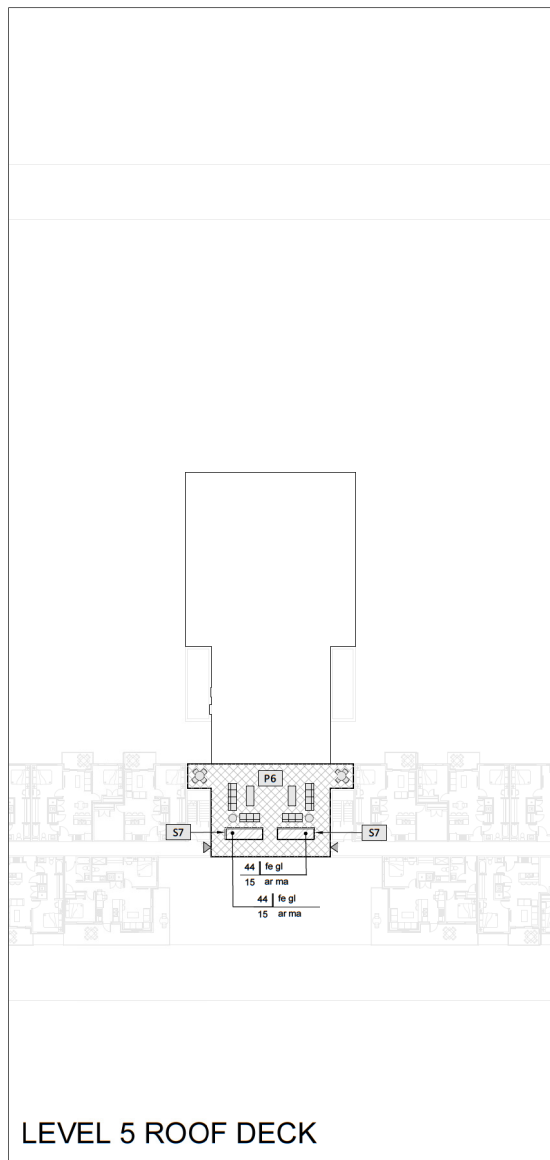
Qty	Symbol	Botanical Name	Common Name	Size	Spacing
44	ACE CIR	<i>Acer circinum</i>	Vine maple	6cm cal.	
15	ACE GLA	<i>Acer glabrum</i>	Douglas maple	6cm cal.	
41	AME ALN	<i>Amelanchier alnifolia</i>	Serviceberry	6cm cal.	
1	COR NUT	<i>Cornus nuttallii</i>	Pacific flowering dogwood	6cm cal.	
32	MAL FUS	<i>Molus fusca</i>	Pacific crabapple	6cm cal.	
12	PSE MEN	<i>Pseudotsuga menziesii</i>	Douglas-fir	3.5m ht.	
1	QUE GAR	<i>Quercus garryana</i>	Garry oak	12m cal.	
<b>Shrubs</b>					
1195	arc vta	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	#2 Pot	30-60cm oc
1012	gau sha	<i>Gaultheria shallon</i>	Salal	#2 Pot	90cm oc
140	hol dis	<i>Holodiscus discolor</i>	Oceanspray	#5 pot	120cm oc
254	mah agu	<i>Mahonia aquifolium</i>	Tall Oregon grape	#5 pot	90-120cm oc
1323	mah ner	<i>Mahonia reweia</i>	Oregon grape	#2 Pot	60-75cm oc
23	ph lew	<i>Philadelphus lewisii</i>	Lewis' mock orange	#5 pot	180cm oc
65	rib san	<i>Ribes sanguineum</i>	Red-flowering currant	#5 pot	150cm oc
51	ros gym	<i>Rosa gymnocarpa</i>	Baldhip rose	#5 pot	120cm oc
134	sym alb	<i>Symphoricarpos albus</i>	Common snowberry	#5 pot	80cm oc
94	vac ova	<i>Vaccinium ovatum</i>	Evergreen huckleberry	#5 pot	150-180cm oc
<b>Perennials and Grasses</b>					
52	al ce	<i>Allium cernuum</i>	Nodding onion	#2 Pot	30cm oc
88	ar ma	<i>Armeria maritima</i>	Thrift	#2 Pot	25cm oc
358	ca qa	<i>Camassia quamash</i>	Camass	#2 Pot	20cm oc
140	ca ro	<i>Campanula rotundifolia</i>	Common harebell	#2 Pot	20cm oc
128	ca pa	<i>Carex panicea</i>	Meadow sedge	#2 Pot	30cm oc
109	di fo	<i>Diandra jensensii</i>	Pacific bleeding heart	#2 Pot	45cm oc
204	fe gl	<i>Festuca ovina glauca</i>	Blue fescue	#2 Pot	25cm oc
700	lu po	<i>Lupinus polyphyllus</i>	Large-leaved lupine	#2 Pot	20cm oc
1262	pe ov	<i>Penstemon ovatus</i>	Broad-leaved penstemon	#2 Pot	20cm oc
420	si be	<i>Sisyrinchium bellum</i>	Blue-eyed grass	#2 Pot	20cm oc
93	sm ra	<i>Smilacina aserina</i>	Falls Solomon's seal	#2 Pot	45-60cm oc
139	si tr	<i>Tiarella trifoliata var. trifoliata</i>	Foamflower	#2 Pot	30cm oc
<b>Ferns</b>					
65	ad al	<i>Adiantum struthium</i>	Western maidenhair fern	#2 Pot	60-75cm oc
32	ad fl	<i>Adiantum filix-femina</i>	Lady fern	#2 Pot	60-75cm oc
82	bl sp	<i>Blechnum spicant</i>	Deer fern	#2 Pot	60-75cm oc
2455	po mu	<i>Polystichum munitum</i>	Sword fern	#2 Pot	60-90cm oc

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LEVEL 4 ROOF DECK



LEVEL 5 ROOF DECK

**MATERIALS LEGEND** SEE SHEETS L0.02 & L0.03 FOR GRADING & PLANTING LEGENDS

**GENERAL**

- PROPERTY LINE
- BUILDING OVERHANG
- o---o--- TREE PROTECTION FENCING
- PLANTING AREA

**PAVING**

- P1** CONCRETE PAVEMENT - VEHICULAR - BROOM FINISH
- P2** CONCRETE PAVEMENT - PEDESTRIAN - BROOM FINISH
- P3** CONCRETE PAVEMENT - PEDESTRIAN - EXPOSED AGGREGATE FINISH
- P4** STONE PAVERS - AT GRADE - LINEAR PATTERN
- P5** (NOT USED)
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- P7** STONE DUST AT BOCCO COURT
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- P9** ASPHALT ROADWAY PAVING - VEHICULAR (SEE CIVIL DRAWINGS)

**WALLS, STAIRS, CURBS, & FENCES**

- W1** STONE STAIR TREAD WITH PAINTED GALVANIZED STEEL HANDRAIL
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- F3** 1m HT. PAINTED GALVANIZED STEEL PICKET FENCE

**OTHER SITE ELEMENTS**

- S1** GARDEN SHED
- S2** SHADE STRUCTURE TYPE 2 - ROOF DECK
- S3** TABLES & CHAIRS
- S4** MOVEABLE LOUNGE FURNITURE
- S5** BENCH
- S6** CEDAR RAISED PLANTERS
- S7** DECORATIVE PLANTER
- S8** FIRE FIT
- S9** CATERNARY LIGHTING OVER FLEXIBLE GATHERING SPACE

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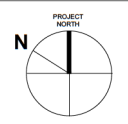
**SUB-CONSULTANT**

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1	03-06-2020		ISSUED FOR DP				



**DESIGN ARCHITECT**

**CLIENT**

**PROJECT TITLE**  
**Nanaimo Ocean View Senior Living**  
 388 MACHLEARY STREET  
 NANAIMO, BC

**PROJECT CONSULTANT**  
**IBI GROUP ARCHITECTS (CANADA) INC.**  
 700 - 1285 West Pender Street  
 Vancouver BC V6E 4B1 Canada  
 Tel: 604 683 8797 Fax: 604 683 0482  
 ibigroup.com

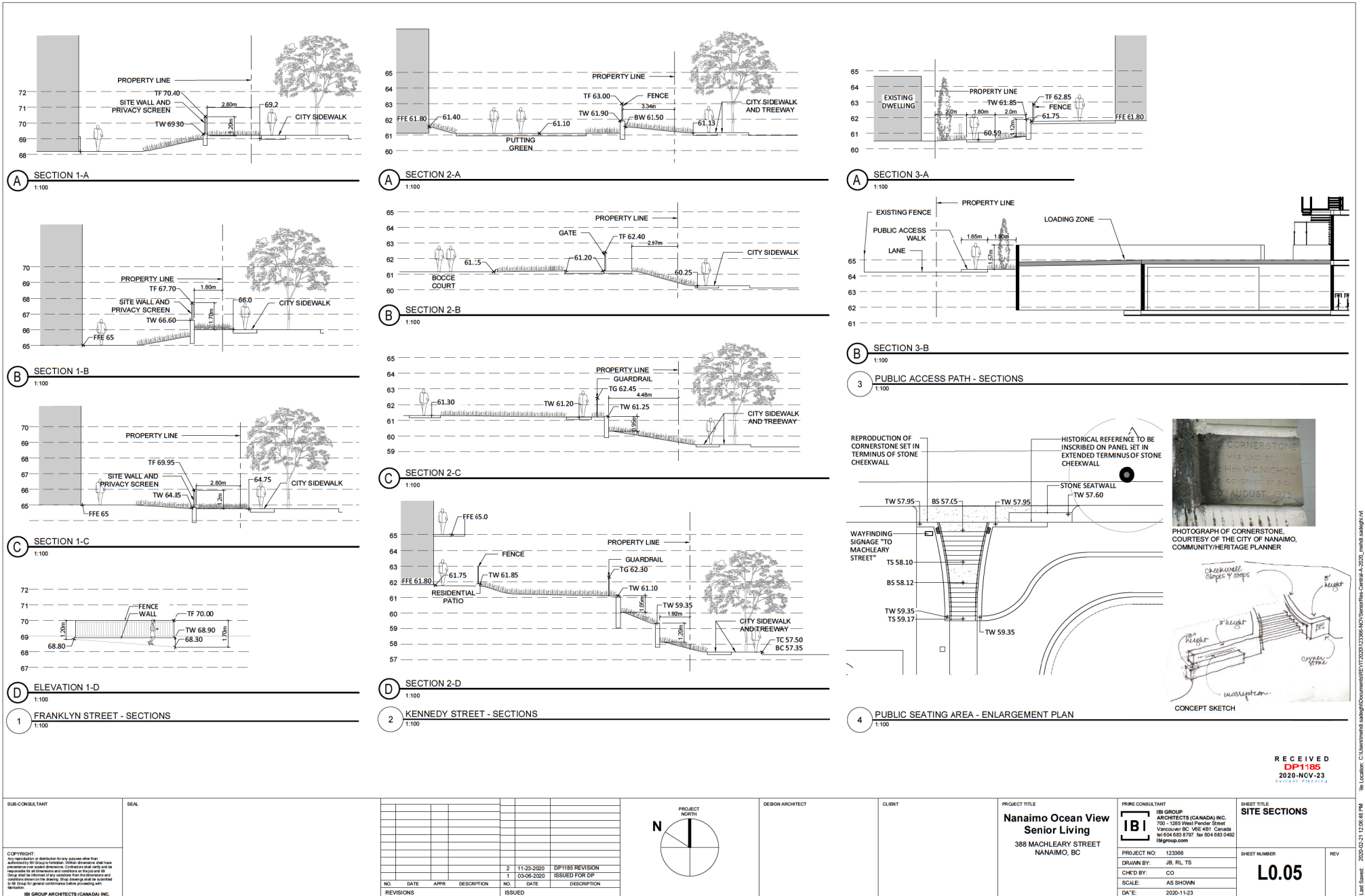
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**ROOF DECK SITE PLAN**

**PROJECT NO.** 123596  
**DRAWN BY:** JB, RL, TS  
**CHECK BY:** CO  
**SCALE:** 1:250  
**DATE:** 2020-11-23

**SHEET NUMBER**  
**L0.04**

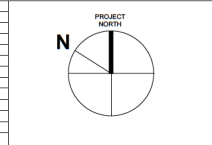
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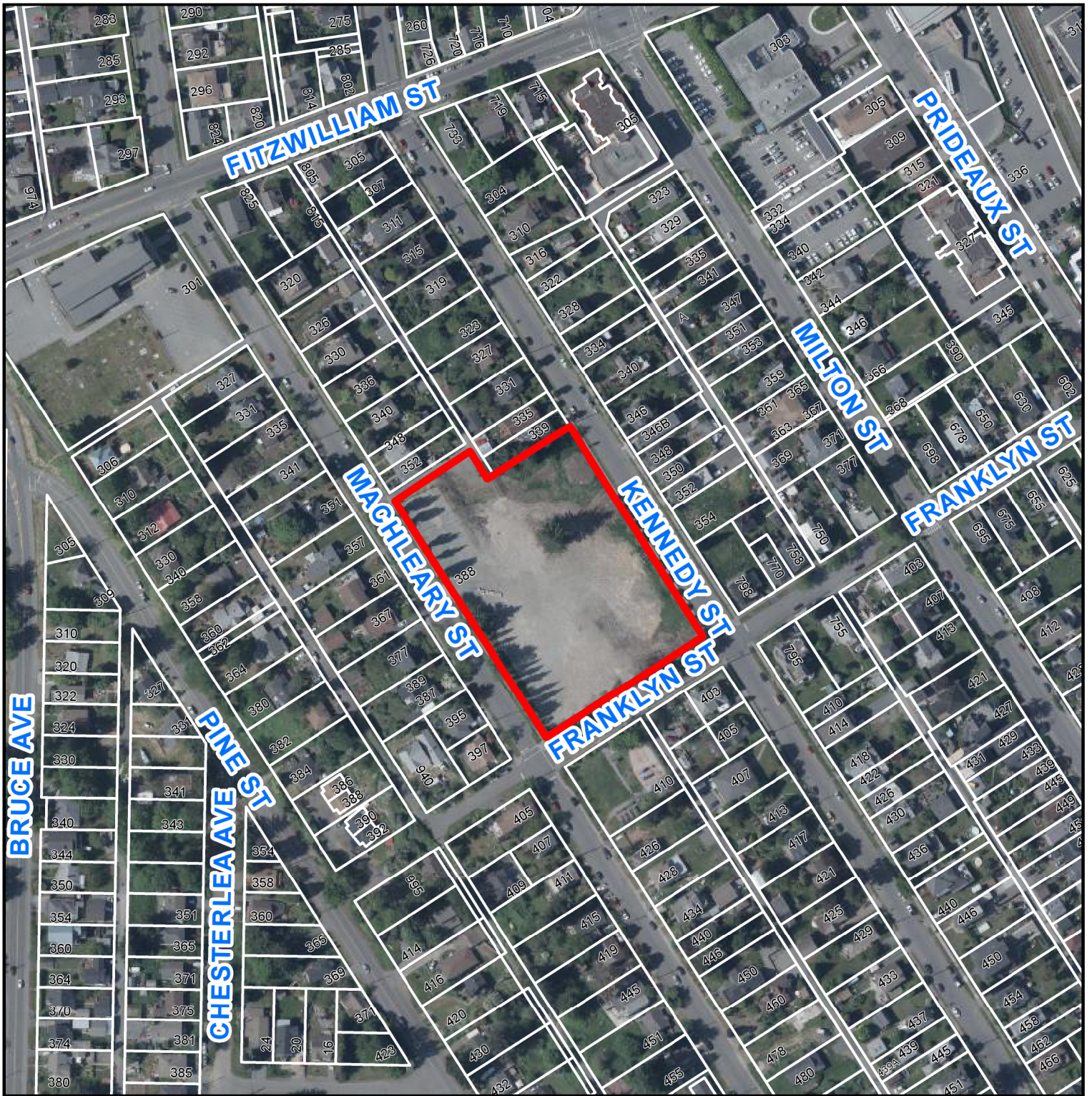
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<p><small>IBI GROUP ARCHITECTS (CANADA) INC.</small></p>	

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1	03-06-2020		ISSUED FOR DP				
<p>REVISIONS</p>							




DESIGN ARCHITECT	CLIENT	PROJECT TITLE	PRINCIPAL CONSULTANT	SHEET TITLE
		<b>Nanaimo Ocean View Senior Living</b> 388 MACHLEARY STREET NANAIMO, BC	<b>IBI</b> IBI GROUP ARCHITECTS (CANADA) INC. 700 - 1285 West Pender Street Vancouver BC V6E 4B1 Canada tel 604 683 8797 fax 604 683 0482 ibigroup.com	<b>SITE SECTIONS</b>
			PROJECT NO: 123595	SHEET NUMBER
			DRAWN BY: JB, RL, TS	REV
			CHECKED BY: CO	<b>L0.05</b>
			SCALE: AS SHOWN	
			DATE: 2020-11-23	

**ATTACHMENT G  
AERIAL PHOTO**



**DEVELOPMENT PERMIT NO. DP001185**

 388 MACHLEARY STREET